

025.0

0002

0025.0

Map

Block

Lot

1 of 1

Residential

CARD

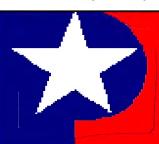
ARLINGTON

Total Card / Total Parcel

1,153,400 / 1,153,400

USE VALUE: 1,153,400 / 1,153,400

ASSESSED: 1,153,400 / 1,153,400


Patriot
Properties Inc.
PROPERTY LOCATION

No	Alt No	Direction/Street/City
35		CLEVELAND ST, ARLINGTON

OWNERSHIP

Owner 1:	HAINES TIMOTHY & KELLY	Unit #:	
Owner 2:			
Owner 3:			

Street 1: 35 CLEVELAND ST

Street 2:

Twn/City: ARLINGTON

St/Prov: MA	Cntry:		Own Occ: Y
Postal: 02474		Type:	

PREVIOUS OWNER

Owner 1:	MARTORANA NINA & ROGER -
Owner 2:	-

Street 1: 108 RONALD ROAD

Twn/City: ARLINGTON

St/Prov: MA	Cntry:		
Postal: 02474		Type:	

NARRATIVE DESCRIPTION

This parcel contains 5,000 Sq. Ft. of land mainly classified as Two Family with a Multi-Garden Building built about 1910, having primarily Vinyl Exterior and 2854 Square Feet, with 2 Units, 3 Baths, 0 3/4 Bath, 0 HalfBath, 11 Rooms, and 5 Bdrms.

OTHER ASSESSMENTS

Code	Descrip/No	Amount	Com. Int

PROPERTY FACTORS

Item	Code	Description	%	Item	Code	Description
Z	R2	TWO FAMIL	100	water		
o				Sewer		
n				Electri		
		Census:		Exempt		
		Flood Haz:				
D				Topo	1	Level
s				Street		
t				Gas:		

LAND SECTION (First 7 lines only)

Use Code	Description	LUC Fact	No of Units	Depth / PriceUnits	Unit Type	Land Type	LT Factor	Base Value	Unit Price	Adj	Neigh	Neigh Influ	Neigh Mod	Infl 1	%	Infl 2	%	Infl 3	%	Appraised Value	Alt Class	%	Spec Land	J Code	Fact	Use Value	Notes
104	Two Family		5000		Sq. Ft.	Site		0	80.	1.14	1									456,000						456,000	

IN PROCESS APPRAISAL SUMMARY

Legal Description							User Acct
							16468
							GIS Ref
							GIS Ref
							Insp Date
							07/06/17

PREVIOUS ASSESSMENT										Parcel ID	Parcel ID 025.0-0002-0025.0				USER DEFINED			
Tax Yr	Use	Cat	Bldg Value	Yrd Items	Land Size	Land Value	Total Value	Asses'd Value	Notes	Date	Prior Id # 1:	16468						
2020	104	FV	690,200	0	5,000.	456,000	1,146,200	1,146,200	Year End Roll	12/18/2019								
2019	104	FV	384,400	0	5,000.	484,500	868,900	868,900	Year End Roll	1/3/2019								
2018	105	FV	384,400	0	5,000.	353,400	737,800	737,800	Year End Roll	12/20/2017								
2017	105	FV	360,700	0	5,000.	307,800	668,500	668,500	Year End Roll	1/3/2017								
2016	105	FV	360,700	0	5,000.	262,200	622,900	622,900	Year End	1/4/2016								
2015	105	FV	321,800	0	5,000.	256,500	578,300	578,300	Year End Roll	12/11/2014								
2014	105	FV	321,800	0	5,000.	210,900	532,700	532,700	Year End Roll	12/16/2013								
2013	105	FV	334,700	0	5,000.	200,600	535,300	535,300		12/13/2012								

SALES INFORMATION

Grantor	Legal Ref	Type	Date	Sale Code	Sale Price	V	Tst	Verif	Notes
MARTORANA NINA	71631-248	1	9/18/2018		1,180,000	No	No		
MARTORANO NINA	63164-207		1/10/2014	Convenience		1	No	No	
KARRAS NICHOLAS	61597-76		4/12/2013	Estate/Div			No	No	
	15478-470		3/1/1984		147,000	No	No	Y	

BUILDING PERMITS

Date	Number	Descrip	Amount	C/O	Last Visit	Fed Code	F. Descrip	Comment	Date	Result	By	Name
10/9/2019	1615	Alterati	26,540	C					9/9/2020	Permit Visit	DGM	D Mann
11/5/2018	1627	Porch	20,000	C					4/16/2019	SQ Returned	JO	Jenny O
10/1/2018	1421	Re-Roof	13,495	C					7/6/2017	MEAS&NOTICE	KB	Kevin B
11/16/2009	1156	Manual	800						4/23/2009	Measured	372	PATRIOT
9/20/1993	469	Manual	3,000					V/SIDING 1ST FLOOR	11/2/1999	Inspected	264	PATRIOT
									10/5/1999	Mailer Sent		
									10/5/1999	Measured	264	PATRIOT
									11/1/1981		MS	

Sign: VERIFICATION OF VISIT NOT DATA _____

EXTERIOR INFORMATION				BATH FEATURES				COMMENTS				SKETCH						
Type: 13 - Multi-Garden	Sty Ht: 2A - 2 Sty +Attic	(Liv) Units: 2	Total: 2	Full Bath: 3	Rating: Good	A Bath:	Rating:	3/4 Bath:	Rating:	A 3QBth:	Rating:	1/2 Bath:	Rating:	A HBth:	Rating:	OthrFix:	Rating:	
Foundation: 2 - Conc. Block	Frame: 1 - Wood	Prime Wall: 4 - Vinyl	Sec Wall: 1 - Wood Shingl	50 %	Kits: 2	Rating: Good	A Kits:	Rating:	Fpl:	Rating:	WSFlue:	Rating:	RESIDENTIAL GRID					
Roof Struct: 1 - Gable	Roof Cover: 1 - Asphalt Shgl	Color: TAN	View / Desir:		Level:	FY LR DR D K FR RR BR FB HB L O	Other		Upper		Lvl 2		Lvl 1		Lower			
GENERAL INFORMATION				OTHER FEATURES				1st Res Grid Desc: Line 1 # Units: 1										
Grade: C - Average	Year Blt: 1910	Eff Yr Blt:		Kits: 2	Rating: Good	A Kits:	Rating:	Fpl:	Rating:	WSFlue:	Rating:							
Alt LUC:		Alt %:																
Jurisdct:		Fact:	.															
Const Mod:																		
Lump Sum Adj:																		
INTERIOR INFORMATION				CONDOS INFORMATION				REMODELING				RES BREAKDOWN						
Avg Ht/FL: STD	Prim Int Wall: 2 - Plaster	Sec Int Wall:	%	Phys Cond: GV - Good-VG	10. %	Functional:	%	Economic:	%	Special:	%	Override:	%	Exterior:	No Unit	RMS	BRS	FL
Partition: E - Typical	Prim Floors: 3 - Hardwood	Sec Floors:	%	Total: 10.8 %										Interior:	1	6	3	
Bsmnt Flr: 12 - Concrete	Subfloor:	Bsmnt Gar:												Additions:	1	5	2	
Electric: 3 - Typical	Insulation: 3 - Typical	Int vs Ext: S												Kitchen:				
Heat Fuel: 2 - Gas	Heat Type: 5 - Steam	# Heat Sys: 3												Baths:				
% Heated: 100	% AC:	Solar HW: NO	Central Vac: NO											Plumbing:				
% Com Wall:	% Sprinkled:													Electric:				
MOBILE HOME				Make:		Model:		Serial #:		Year:		Color:		CALC SUMMARY				
SPEC FEATURES/YARD ITEMS				PARCEL ID 025.0-0002-0025.0														
Code	Description	A	Y/S	Qty	Size/Dim	Qual	Con	Year	Unit Price	D/S	Dep	LUC	Fact	NB Fa	Appr Value	JCod JFact	Juris. Value	
More: N	Total Yard Items:					Total Special Features:								Total:				
<p>The sketch shows a rectangular house footprint divided into several sections labeled with room types: UAT (Upper Attic), SFL (Second Floor), FFL (First Floor), and BMT (Basement). The footprint is approximately 42 units wide by 16 units deep, with various rooms like bedrooms and bathrooms indicated by smaller rectangles.</p>																		